



BUILDING PERMIT APPLICATION

Re-roofing/Re-siding/Windows/Doors

Phone: 651-565-4568 or Fax: 651-565-4569

Email: cityhall@wabasha.org

Permit # _____

-----APPLICANT MUST COMPLETE INFORMATION BELOW-----

Project Address: _____ PID: _____

Property Owner: _____ Phone: _____

Property Owner Address (City/State/Zip): _____

General Contractor: _____

State License #: _____ Phone: _____

Reactivation of Re-Roofing/Re-Siding Permit & Provide Prior Permit # _____

Use of Structure (Check One): Dwelling Re-Roof Garage Re-Roof Shed Re-Roof

Business/Commercial Re-Roof

Use of Structure (Check One): Dwelling Siding Garage Siding Shed Siding

Business/Commercial Re-Roof

Use of Structure (Check One): Window Replacements (*Complete units only/Not window inserts*)

Door Replacements

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Applicant Name (please print): _____ Phone: _____

Applicant Address (City/State/Zip): _____

Signature: _____ Date: _____

-----CITY USE ONLY-----

PLANNING: Zoning District _____ Floodplain _____ (Mississippi Pool #4: _____ Brewery Creek _____)

ZONING APPROVED BY: _____ **DATE:** _____

BUILDING APPROVED BY: _____ **DATE:** _____

Fees based on valuation Valuation Amount: \$ _____

Permit Fee: \$ _____ Plan Review Fee: \$ _____ State Surcharge: \$ _____ Total: \$ _____

Fixed Amount Permit Fees Listed Below:

- | | | |
|---|-----------------------------|--------------------|
| <input type="checkbox"/> Re-Roof Permit Fee: \$64.00 | State Surcharge Fee: \$1.00 | Total Fee: \$65.00 |
| <input type="checkbox"/> Siding Permit Fee: \$64.00 | State Surcharge Fee: \$1.00 | Total Fee: \$65.00 |
| <input type="checkbox"/> Windows/Door Replacement Permit Fee: \$64.00 | State Surcharge Fee: \$1.00 | Total Fee: \$65.00 |
| <input type="checkbox"/> Reactivation Permit Fee: \$34.00 | State Surcharge Fee: \$1.00 | Total Fee: \$35.00 |

TOTAL AMOUNT DUE: \$ _____

(Add together all the fees that apply from above)

Call CMS for Final Inspections at: 1-507-282-8206

Method of Payment: _____
Date Issued: _____
Permit Issued By: _____



**PROPERTY OWNER
BUILDING PERMIT APPLICANT
SELF – WAIVER FORM**

I understand that the State of Minnesota requires that all Residential Building Contractors, Remodelers, Roofers, Mechanical and Plumbing Contractors obtain a state license unless they qualify for a specific exemption from the licensing requirements. This license requirement applies to owners of residential real estate who build or improve such property for purposes of speculation or resale.

By signing this document, I attest to the fact that I am improving this house for my own use and am not building or improving this house for the purpose of reselling it. I hereby claim to be exempt from the state licensing requirements because I am not in the business of building or remodeling on speculation or for resale and that the house for which I am applying for this permit is located at: _____ is the first residential structure I have built or improved in the past 24 months. **I also acknowledge that because I do not have a state license, I forfeit any Mechanic's Lien Rights t which I may otherwise have been entitled under Minn. Stat 514.01.**

Furthermore, I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvements of this house and I understand that some of these contractors may be required to be licensed by the State of Minnesota. I understand that unlicensed residential contracting; remodeling; and/or roofing activity is a misdemeanor under Minn. Stat. 326B.082, Subd. 16 and can also result in a fine of up to \$10,000.00. I further state that I understand that filing of a false statement with the City of Wabasha may also result in criminal prosecution and/or civil penalties pursuant to applicable City Ordinances and/or State Statues.

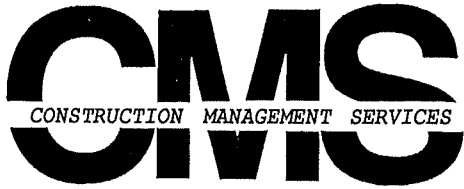
I have also been informed and acknowledge that by listing myself as the contractor for this project, I alone will be responsible to the City of Wabasha for compliance with all applicable building codes and City Ordinances in connection with the work being performed on this property.

Signature - Owner

Print Name – Owner

Date

To determine whether a particular contractor is required to be licensed, or to check on the licensing status of individual contractor, please call the Minnesota Department of Labor and Industry, Construction Codes and Licensing Division at: (651) 284-5069 or visit the website at: www.doli.state.mn.us/contractor



A Division of WSE Engineering Services, Ltd
1765 Restoration Rd SW
Rochester, MN 55902
507-282-8206

THE FOLLOWING ITEMS ARE CONDITIONS FOR PERMIT ISSUANCE FOR REROOFING

STRICT COMPLIANCE IS MANDATORY

1. Only two (2) layers of roof covering are permitted. R907.3
2. Ice barrier is required under first layer. R907.3
3. Provide ice dam protection on all roof edges. Protection shall extend from the eave's edge to a point at least 24" inside the exterior wall line. R905.2.7.1 Exception: Detached accessory structures that contain no conditioned floor area.
4. Attic ventilation: The total net free ventilation area shall not be less than 1 to 150 of the area of the space ventilated except that the total area is permitted to be reduced to 1 to 300, provided at least 40 percent and not more than 50 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated no more than 3 feet below the ridge or highest point, with the balance of required ventilation provided within the bottom third of the attic space. (i.e. eaves) MSBC1309/R806.2
5. Sidewall Flashing: Flashing against a vertical sidewall shall be by the step-flashing method. R905.2.8.4
6. Existing buildings and structures: Kick-out flashings shall be required in accordance with Section R903.2.1 when simultaneously re-siding and reroofing existing buildings and structures. R903.2.1.1
7. Asphalt shingles shall be fastened to solidly sheathed decks, or one inch (1") thick nominal wood boards. R905.2.1
8. This structure must comply with all portions of the Minnesota State Building Code whether noted on this plan or omitted. Failure to note any detail(s) on the plan does not remove the builder from the responsibility of complying with the Building Code.

Jay Kruger
Building Official

CALL CMS FOR FINAL INSPECTION - (507) 282-8206

BUILDING PERMIT PROCESS

(Revised 2-3-23)

1. Applicant shall submit application to the responsible jurisdiction.

Applicant shall include:

- a. Site plan showing property boundaries and building(s) locations. Dimensions should show distance from building to all property lines.
 - b. Legal description and address of property.
 - c. Two sets of plans which include footing, foundation, wall & roof details. CMS will release permit after energy calculations, makeup and combustion air calculations (mechanical calculations) and energy compliance certificate are approved. All buildings other than one and two family dwellings require architectural and/or structural engineering certifications.
 - d. On-site and well information if building is not municipal water and/or sanitary sewer.
2. Building permit review and issuance normally takes 10 to 14 working days.
 3. Applicant pays all fees when he/she picks up the permit(s) before construction.
 4. The owner/builder is responsible for arranging or calling for all inspections. In the typical new home the following inspections would be required:
 - a. Footing/foundation. This is made prior the concrete being poured.
 - b. Poured foundation walls
 - c. **Back Fill and Water Proofing**
 - d. Plumbing Rough-in – below ground
 - e. **Radon – Before any foam is placed**
 - f. Mechanical Rough-in – heat/vent – in-floor & underground heat
 - g. Framing – Truss specifications to be on site.
 - h. Plumbing Rough-in - above ground
 - i. Heat & Ventilation Rough-in
 - j. Fireplace Rough-in. This inspection is made prior to enclosing unit.
 - k. Insulation
 - l. Finals – building, plumbing, mechanical (heat/ventilation & gas lines)
 5. Certificate of Occupancy shall be issued upon completion of all approved work.

GENERAL INFORMATION:

- All structures except storage buildings 200 sq. ft. or less require a building permit. Storage buildings 200 sq. ft. or less must still comply with all applicable zoning regulations.
- Fences not over seven feet (7') high do not require a building permit.

- Permit fees are based on valuation established from State of Minnesota data sheets.
- Electrical permits and electrical inspections must be arranged through the Minnesota state electrical inspector.
- All building and plumbing contractors must be licensed through the State of Minnesota and their license number must be included on all permit applications.
- The plumbing plans for all commercial/industrial projects must be approved by the Minnesota State Health Department. Inspections are made by the Health Department, however, they often defer these to the local building inspector. A copy of the state approval shall be on file at CMS prior to scheduling plumbing inspections.
- The Minnesota State Building Code adopted under Minnesota Statutes, Section 326B.106, subdivision 1, includes the following chapters:
 - A. 1300 – Minnesota Building Code Administration;
 - B. 1301 - Building Official Certification;
 - C. 1302 - State Building Code Construction Approvals;
 - D. 1303 - Special Provisions;
 - E. 1305 – Minnesota Building Code;
 - F. 1306 - Special Fire Protection Systems;
 - G. 1307 – Elevators and Related Devices ;
 - H. 1309 - Minnesota Residential Code;
 - I. 1311 – MN Conservation Code for Existing Buildings;
 - J. 1315 - Minnesota Electrical Code;
 - K. 1325 - Solar Energy Systems;
 - L. 1335 - Floodproofing Regulations;
 - M. 1341 - Minnesota Accessibility Code;
 - N. 1346 - Minnesota Mechanical Code;
 - O. 1350 - Manufactured Homes;
 - P. 1360 - Prefabricated Structures;
 - Q. 1361 – Industrialized/Modular Buildings ;
 - R. 1370 - Storm Shelters (Manufactured Home Parks);
 - S. 4714 - Minnesota Plumbing Code;
 - T. 1322 and 1323 - Minnesota Energy Codes;
 - U. 5230 – Minnesota High Pressure Piping Systems

**CALL FOR ALL INSPECTIONS
CONSTRUCTION MANAGEMENT SERVICES
507-282-8206**