



BUILDING PERMIT/APPLICATION

CITY OF WABASHA, 651-565-4568

Permit # _____

-----APPLICANT COMPLETE INFORMATION BELOW-----

Project Address: _____ PID # R27. _____

Legal Description: _____ () See Attached

Property Owner: _____ Phone: _____ (Cell) _____

Address: _____ City: _____ Zip: _____

General Contractor: _____ License #: _____ Phone: _____ () Cell

Plumbing Contractor: _____ License #: _____ Phone: _____ () Cell

Mechanical Contractor: _____ License #: _____ Phone: _____ () Cell

Proposed Use [(✓) One]: () Dwelling, () Garage, () Deck, () Addition, () Porch, () Pole Building,

() Finish Basement, () Reactivation of Permit # _____, () Business/Commercial, () Other _____,

() Plumbing: () Residential, () Business/Commercial, () Other _____,

() Mechanical: () Furnace, () Water Heater, () Fireplace, () Business/Commercial, () Other _____,

() New Gas Service/Reconnect Gas Service (Meter)

Description of Project: _____ Project Dimensions: _____,

Square Footage: _____, Lot Size/Dimensions: _____ (See attached Site Plan),

Use and Occupancy Type: _____ Type of Construction: _____

City Water: [✓] (Yes) (No), City Sewer: [✓] (Yes) (No),

Proposed Setbacks: Front _____ Side (L) _____ Side (R) _____ Rear _____ Street Side _____

Road Right of Way (State/County) County Rd #: _____ State Hwy #: _____

Is property in the floodplain? No _____ Yes* _____ *If YES, than 100 year regulatory Flood Protection Elevation must be determined and as-built elevations must be certified prior to the issuance of CO (Certificate of Occupancy).

All new homes and Commercial Structures are required to pay a Water Access Charge (WAC) of \$100, Sewer Access Charge (SAC) of \$600 at the time of issuance of the building permit.

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Name [please print]: _____ Address: _____

City: _____ Zip: _____ Phone: _____

Signature: _____ Date: _____

-----CITY USE ONLY-----

Zoning District: _____ Floodplain _____ Shoreland _____ REPE: _____ (Base Flood elev.)

Minimum Setbacks: Front _____ Side (L) _____ Side (R) _____ Rear _____ Street Side _____

Mississippi Pool #4: _____ Brewery Creek: _____ Floodplain Only; lowest adjacent Grade: _____ ft. sea level

ZONING APPROVED BY: _____ Date: _____

BUILDING APPROVED BY: _____ Date: _____

-----FEES-----

Valuation: _____

Building Permit: _____ Plan Review: _____ State Surcharge: _____

Plumbing Permit: _____ Plan Review: _____ State Surcharge: _____

Mechanical Permit: _____ Plan Review: _____ State Surcharge: _____

Subtotals of Fees: _____ Subtotal: _____ Subtotal: _____

New Homes and Commercial Structures Only: WAC: \$100 SAC: \$600 Other: _____

TOTAL DUE: _____ Total WAC & SAC Due: _____

Paid: ()
Date Issued:
Issued By:

Call CMS for Inspections at 1.800.940.2547

Revised 8/1/11 ,01/01/12



PROPERTY OWNER
BUILDING PERMIT APPLICANT
SELF – WAIVER FORM

I, understand that the State of Minnesota requires that all Residential Building Contractors, Remodelers, Roofers, Mechanical and Plumbing Contractors obtain a state license unless they qualify for a specific exemption from the licensing requirements. This license requirement applies to owners of residential real estate who build or improve such property for purposes of speculation or resale.

By signing this document, I attest to the fact that I am improving this house for my own use and am not building or improving this house for the purpose of reselling it. I hereby claim to be exempt from the state licensing requirements because I am not in the business of building or remodeling on speculation or for resale and that the house for which I am applying for this permit, located at _____, is the first residential structure I have built or improved in the past 24 months. I also acknowledge that because I do not have a state license, I forfeit any mechanic's lien rights to which I may otherwise have been entitled under Minn. Stat 514.01.

Furthermore, I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvement of this house and I understand that some of these contractors may be required to be licensed by the State of Minnesota. I understand that unlicensed residential contracting; remodeling; and/or roofing activity is a misdemeanor under Minn. Stat. §326B.082, subd.16 and can also result in a fine of up to \$10,000. I further state that I understand that filing of a false statement with the City of Wabasha may also result in criminal prosecution and/or civil penalties pursuant to applicable city ordinances and/or state statutes.

I have also been informed and acknowledge that by listing myself as the contractor for this project, I alone will be responsible to the City of Wabasha for compliance with all applicable building codes and city ordinances in connection with the work being performed on this property.

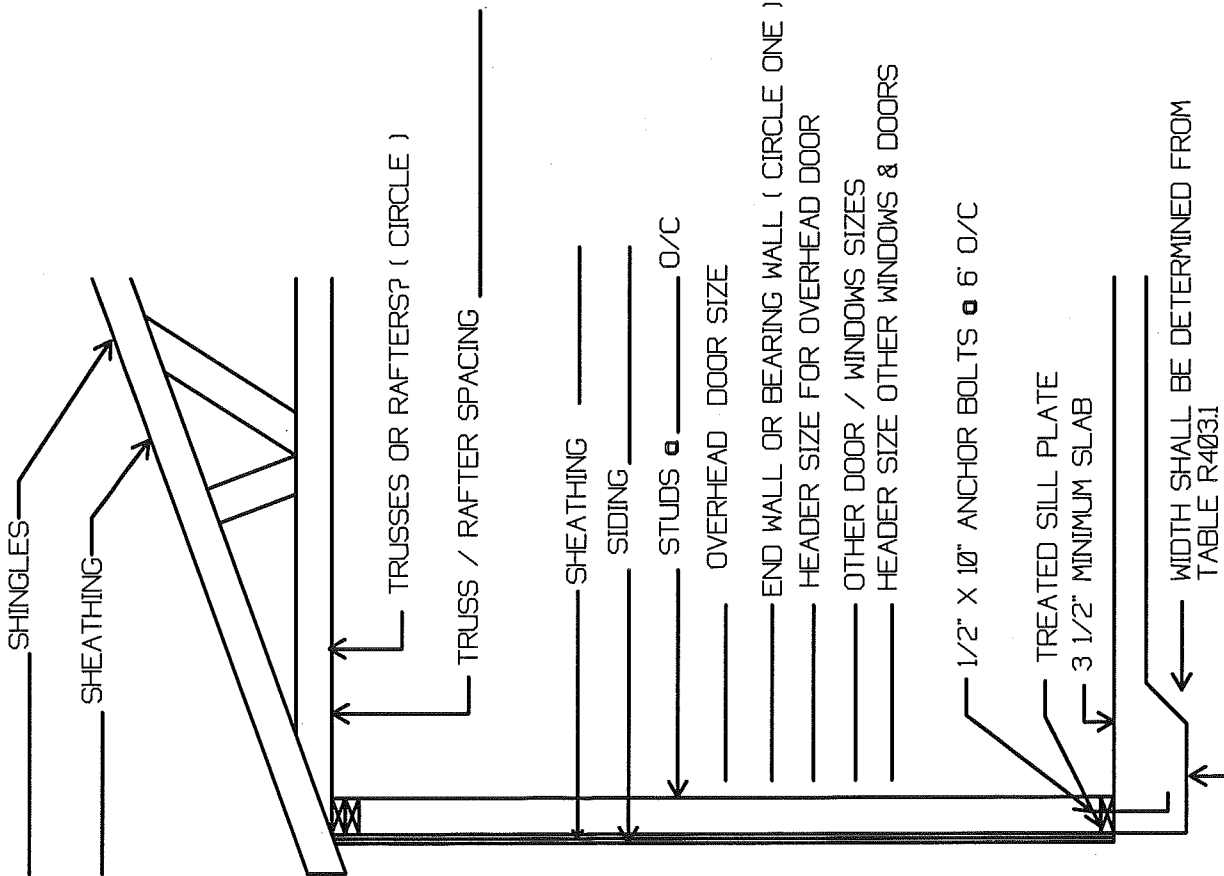
Print name - Owner

Signature - Owner

Date

To determine whether a particular contractor is required to be licensed, or to check on the licensing status of individual contractors, please call the Minnesota Department of Labor and Industry, Construction Codes and Licensing Division at: (651) 284-5069. The web site is: www.doli.state.mn.us/contrator .

DETACHED GARAGE DETAIL



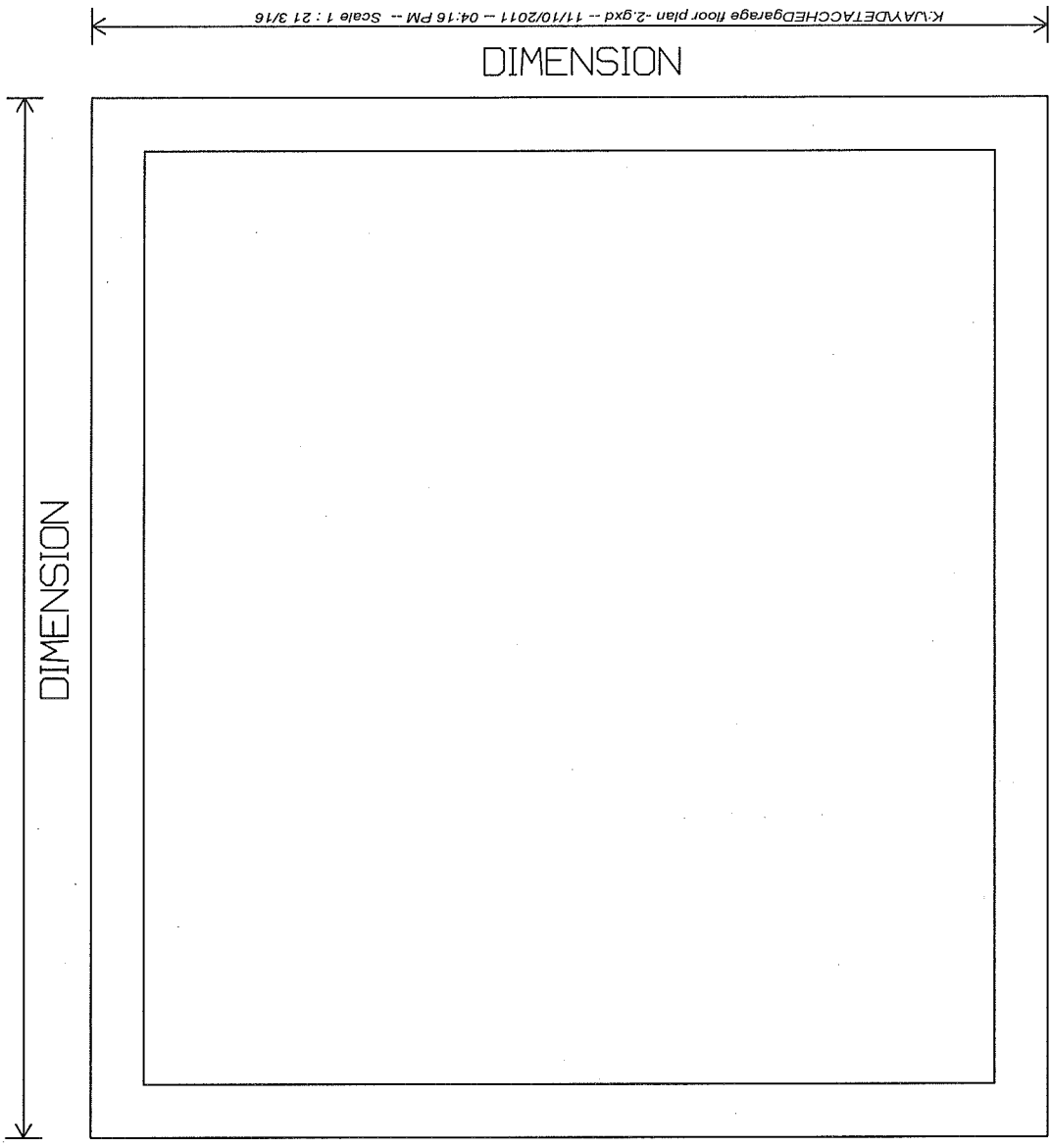
12 INCH MINIMUM

WIDTH SHALL BE DETERMINED FROM TABLE R4031

TABLE R4031

	LOAD BEARING VALUE OF SOIL (PFS)		
1500	2000	2500	3000
12"	12"	12"	12"
15"	12"	12"	12"
1-STORY			
2-STORY			

GARAGE FLOOR PLAN



DRAW IN ALL WINDOW AND DOOR LOCATIONS WITH SIZES AND HEADER SIZES

SHOW DIRECTION OF RAFTERS OR TRUSSES

SEE BACK FOR SAMPLE DRAWING

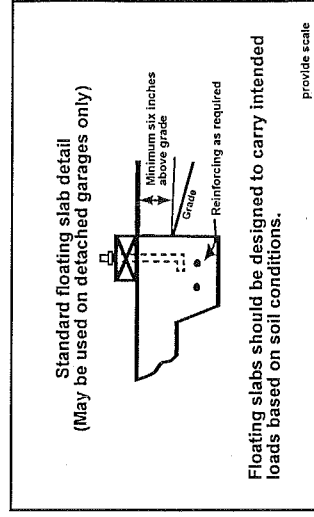
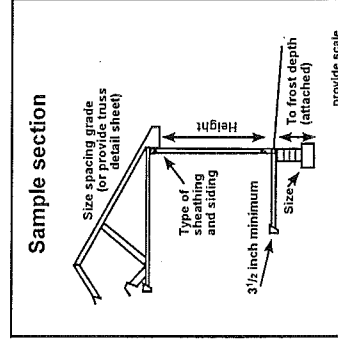
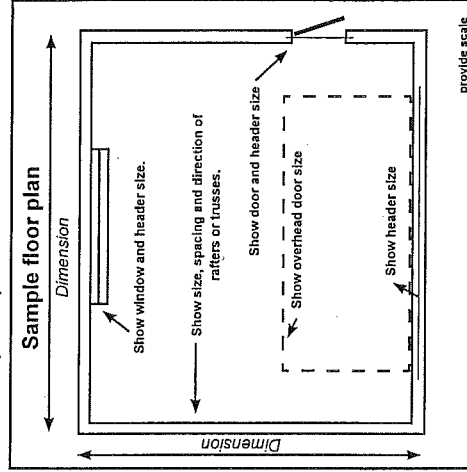
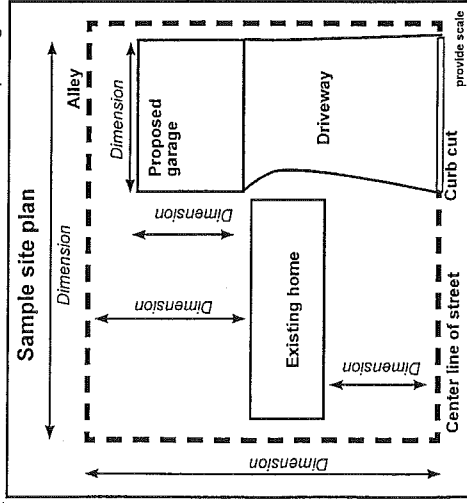
General building code requirements

The 2007 Minnesota State Building Code adopts the 2006 International Residential Code (2006 IRC). All "R" code references provided in this brochure pertain to the 2006 IRC.

- Footings must extend to frost depth for all attached garages. A "floating slab" may be used for the foundation support of detached garages on all soils except peat and muck. The slab perimeter must be sized and/or reinforced to carry all design loads. The minimum-slab thickness must be 3 1/2 inches and reinforcing is recommended. The minimum concrete strength required is 3500-pounds-per-square-inch for floating slab. Protect concrete from freezing until cured.
- Anchor bolts or straps: Foundation plates must be anchored to the foundation with not less than 1/2 inch diameter steel bolts, or approved straps, embedded at least seven inches into the concrete and spaced not more than six feet apart. There must be a minimum of two bolts for each piece of sill plate with one bolt located within 12 inches of each end of each piece of sill plate. Anchor straps must be installed according to manufacturer's specifications.
- Sill plate: All foundation sill plates must be approved pressure-preservative-treated wood, heartwood of redwood, black locust or cedar.
- Wall framing: Studs must be placed with their wide dimension perpendicular to the wall and not less than three studs must be installed at each corner of an exterior wall. Minimum stud size is two inches by four inches and spaced not more than 24 inches on center.

The following samples show the minimum detail expected on site, floor and elevation plans to ensure the permit process proceeds smoothly. Additional information, such as sectional drawing or elevations, may be required. The plans should include the following information:

- Proposed size of garage.
- Location and size of door and window opening.
- Size of headers over all doors and window openings.
- Size, spacing and direction of rafter (roof) materials.
- Type (grade and specie) of lumber to be used.
- Braced wall panels per R602.10.



e. Top plate: Bearing and exterior wall studs need to be capped with double-top plates installed to provide overlapping at corners and at intersections with other partitions. End joints in double-top plates must be offset at least 24 inches.

f. Sheathing, roofing and siding: Approved wall sheathing, siding, roof sheathing and roof covering must be installed according to the manufacturer's specifications. Wall sheathing may be required to have a weather-resistant barrier installed over the product prior to application of the siding product.

g. Wood and earth separation: Wood used in construction located nearer than 6 inches to earth shall be treated wood.

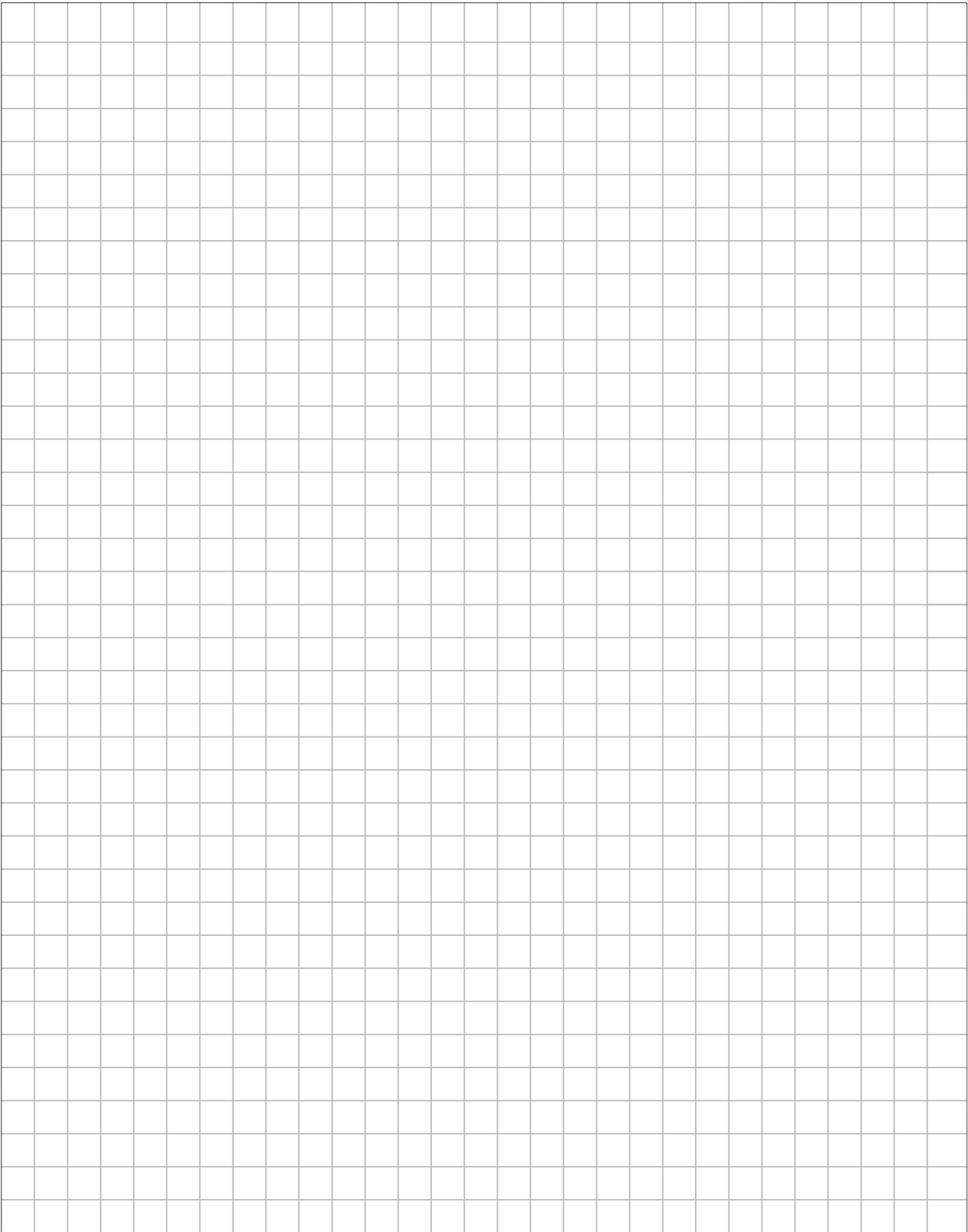
h. Roof framing: Size and spacing of conventional lumber used for roof framing depends upon the roof pitch, span, the type of material being used and the loading characteristics being imposed. Garages must be designed for the appropriate snow load in your area. Contact your local building inspector. A snow load map is online at www.dli.mn.gov/ccid/pdf/bc_map_frost_depth.pdf.

Rafters need to be framed directly opposite each other at the ridge. A ridge board at least one inch (nominal) thickness and not less in depth than the cut end of the rafter is required for hand-framed roofs. At all valleys and hips, there also needs to be a single valley or hip rafter not less than two inches (nominal) thickness and not less in depth than the cut of the rafter. Valley needs to be designed as a beam.

Rafters must be nailed to the adjacent ceiling joist to form a continuous tie between exterior walls when the joists are parallel to the rafters. Where not parallel, rafters must be tied by a minimum one inch by four inch (nominal) cross tie spaced a maximum four foot on center. Manufactured trusses are to be installed per the manufacturer.

i. Separation required: An attached garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied on the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall be protected by not less than 5/8-inch (15.9 mm) type "X" gypsum board or equivalent.

j. Concrete curb block: Concrete masonry curb blocks shall be at least 6-inch-modular width (4-inch-curb blocks are not permitted by code).



Site Plan Permit No. _____ Scale: 1/4" = _____